



This floor plan has been designed as a visual aid to identify room names and positioning within the building. Some doors, windows or fittings may be incorrectly sized or positioned as these are included for identification purposes only. This is not a working drawing and is not to scale.
Plan produced using PlanUp.

VIEWING: By appointment only via the Agents.

TENURE: We are advised Freehold.

SERVICES: We have not checked or tested any of the services or appliances at the property.

TAX: Band D

We would respectfully ask you to call our office before you view this property internally or externally.

SSG/ESL/07/22/OK250722SSG

FACEBOOK & TWITTER

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WE WOULD LIKE TO POINT OUT THAT OUR PHOTOGRAPHS ARE TAKEN WITH A DIGITAL CAMERA WITH A WIDE ANGLE LENS. These particulars have been prepared in all good faith to give a fair overall view of the property. If there is any point which is of specific importance to you, please check with us first, particularly if travelling some distance to view the property. We would like to point out that the following items are excluded from the sale of the property: Fitted carpets, curtains and blinds, curtain rods and poles, light fittings, sheds, greenhouses - unless specifically specified in the sales particulars. Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or otherwise. Services, appliances and equipment referred to in the sales details have not been tested, and no warranty can therefore be given. Purchasers should satisfy themselves on such matters prior to purchase. Any areas, measurements or distances are given as a guide only and are not precise. Room sizes should not be relied upon for carpets and furnishings.

COMPUTER-LINKED OFFICES THROUGHOUT WEST WALES and Associated office in Mayfair, London

12 Victoria Place, Haverfordwest, Pembrokeshire, SA61 2LP

EMAIL: haverfordwest@westwalesproperties.co.uk

TELEPHONE: 01437 762626

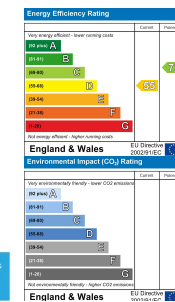


The Stable Cuffern Manor Cottages, Roch, Haverfordwest, Pembrokeshire, SA61 2LP

- Character Cottage
- Two Double Bedrooms
- Potential For En-Suite
- Allocated Parking Space
- Excellent Investment/2nd Home
- Beautiful Countryside Setting
- Open Plan Living/Kitchen Area
- Courtyard To Rear
- Well Presented
- EPC Rating: D

Offers In Excess Of £250,000

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The Agent that goes the Extra Mile





The Stable is one of six character cottages converted from original outbuildings that once belonged to Cuffern Manor. Nestled on a country lane, the idyllic setting immediately creates a sense of tranquillity and privacy. Accessed through an arched entrance door, you enter an open plan Living/Dining/Kitchen area which features the original fireplace housing a wood-burning stove. There is a downstairs WC and on the first floor there is a family Bathroom with a separate shower. There are Two Double Bedrooms, one with a store room that has plumbing in place to be converted into an En-Suite Shower Room. The property is mostly double glazed with electric heating.

Externally there is a communal parking area to the front with one allocated parking space, whilst to the rear is a low maintenance courtyard garden.

With the added benefit of no onward chain, this would be an excellent investment or second home, viewing is highly recommended!

The property is nestled on a scenic lane between Roch and Cuffern, and around 3.5 miles from Newgale, one of the best known Blue Flag sandy beaches in West Wales, with its 2 miles of beach and wonderful surf. It lies half way between the county town of Haverfordwest and the beautiful cathedral city of St. Davids. Haverfordwest has a wide range of amenities, including main line train station, hospital, sixth form college, schools, cinemas and leisure facilities. The village of Roch, just a couple of miles away, has a junior school, church, pub, shop and post office, whilst St Davids and Solva both have a wide array of cafe's, restaurants, shops and art galleries. The stunning scenery of the Pembrokeshire Coast National Park is on your doorstep and provides endless opportunities for walking and enjoying the flora and fauna of the area, whilst a myriad of sporting activities can be enjoyed either on the beach, sea or golf course.

Living Area and Kitchen

24'11" x 17'5" (7.60m x 5.31m)

WC

7'4" x 3'0" (2.25m x 0.93m)

Bedroom One

10'6" x 14'4" (3.22m x 4.39m)

Store Room (Potential En-Suite)

2'11" x 7'5" (0.900m x 2.27m)

Bedroom Two

11'1" x 13'10" (3.39m x 4.24m)

Bathroom

9'4" x 6'5" (2.85m x 1.98m)



DIRECTIONS

From our office in Haverfordwest, head towards St Davids on the A487. Continue for approximately 6 miles until you reach the village of Roch. Turn right onto Church Road and follow the road past Roch Castle and the church. Take the next right hand turn and follow the lane down, where you will find the property on the right-hand side.

See our website www.westwalesproperties.co.uk in our TV channel to view our location videos about the area.